

# Pecyn Dogfennau



Mark James LLM, DPA, DCA  
Prif Weithredwr,  
*Chief Executive*,  
Neuadd y Sir, Caerfyrddin. SA31 1JP  
County Hall, Carmarthen. SA31 1JP

Annwyl Gynghorydd,

## **PWYLLGOR CYNLLUNIO - DYDD MAWRTH, 20FED MAWRTH, 2018**

Gweler yn amgaeedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

Rhif ar yr      Eitem  
Agenda

3. **YSTRIED ADRODDIADAU'R PENNAETH CYNLLUNIO YNGHYLCH Y CEISIADAU CYNLLUNIO CANLYNOL [YR YMWELODD Y PWYLLGOR A'U SAFLEOEDD YN FLAENOROL] A PHENDERFYNU AR Y CEISIADAU FIELD\_PAGE\_RANGE**
  - a) **S/34755 - DWY GARAFÁN BRESWYL SEFYDLOG YNGHYD AG ADEILADU YSTAFELL DDYDD/AMLBWRPAS, DWY GARAFÁN DEITHIOL A STABLAU (RHANNOL ÔL-WEITHREDOL), TIR SY'N RHAN O HILLSIDE VIEW, YR HENDY, LLANNON, SA14 8JX. FIELD\_PAGE\_RANGE**
  - b) **S/36679 - MATERION A GADWYD YN ÔL MEWN PERTHYNAS Â MYNEDIAD, GWEDD, TIRWEDDU, CYNLLUN A MAINT, YNGHYD Â DIDDYMU AMODAU 7, 9 A 11 SY'N RHAN O GANIATÂD CYNLLUNIO S/27346, TIR MAES Y BRYN, HEOL PENLLWYNGWYN, Y BRYN, LLANELLI, SA14 9RQ. FIELD\_PAGE\_RANGE**

Yn gywir,

*Mark James DYB*

Prif Weithredwr



EICH CYNGOR arleinamdan  
www.sirgar.llyw.cymru  
YOUR COUNCIL doitonline  
www.carmarthenshire.gov.wales

Amg.



Mae'r dudalen hon yn wag yn fwriadol

**ADRODDIAD PENNAETH  
CYNLLUNIO, CYFARWYDDIAETH YR  
AMGYLCHEDD**

**REPORT OF THE  
HEAD OF PLANNING,  
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO  
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY  
COUNCIL'S PLANNING COMMITTEE**

**AR 20 MAWRTH 2018  
ON 20 MARCH 2018**

**I'W BENDERFYNU/  
FOR DECISION**

**ATODIAD  
ADDENDUM**



## **ADDENDUM – Area South**

<i>Application Number</i>	<b>S/34755</b>
<i>Proposal &amp; Location</i>	TWO STATIC RESIDENTIAL CARAVANS TOGETHER WITH THE ERECTION OF A DAY/UTILITY ROOM, TWO TOURING CARAVANS AND A STABLE BLOCK (PARTLY RETROSPECTIVE) AT LAND AT HILLSIDE VIEW, HENDY, LLANNON, SA14 8JX

### **DETAILS:**

#### **APPRAISAL**

The applicant has confirmed that he no longer rents the field enclosure on the opposite side of the B4306 to graze his horses. As such, he will no longer need to cross or walk along the roadway between the site and the field enclosure.

The recommendation for approval remains unchanged subject to the imposition of the conditions contained in the main report.

## ADDENDUM – Area South

<i>Application Number</i>	<b>S/36679</b>
<i>Proposal &amp; Location</i>	RESERVED MATTERS RELATING TO ACCESS, APPEARANCE, LANDSCAPING, LAYOUT AND SCALE, TOGETHER WITH THE DISCHARGE OF CONDITIONS 7, 9 AND 11 ATTACHED TO PLANNING PERMISSION S/27346 AT LAND AT MAES Y BRYN, PENLLWYNGWYN ROAD, BRYN, LLANELLI, SA14 9RQ

### **DETAILS:**

#### **CONSULTATIONS**

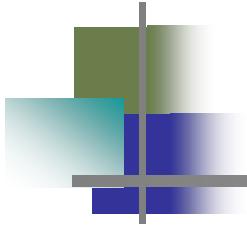
**Neighbours/Public** - A further letter of objection has been received from a neighbouring resident who raises the following concerns regarding the proposal:-

- There are currently no visible road markings in Maes y Bryn or on the approach road into it;
- Poor visibility on the bend leading into Maes y Bryn;
- Increased volume of traffic;
- The need to reduce traffic speeds;
- Lack of parking restrictions or enforcement at the junction with numerous vehicles parked on the approach to the estate.

#### **APPRAISAL**

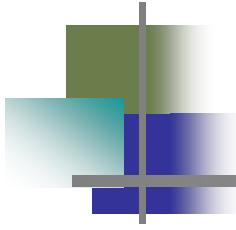
The highway and access concerns raised by the respondents have been addressed in main report presented to the Committee wherein members will have noted that the Head of Transport has raised no objection to the application.

Mae'r dudalen hon yn wag yn fwriadol



# **CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO**

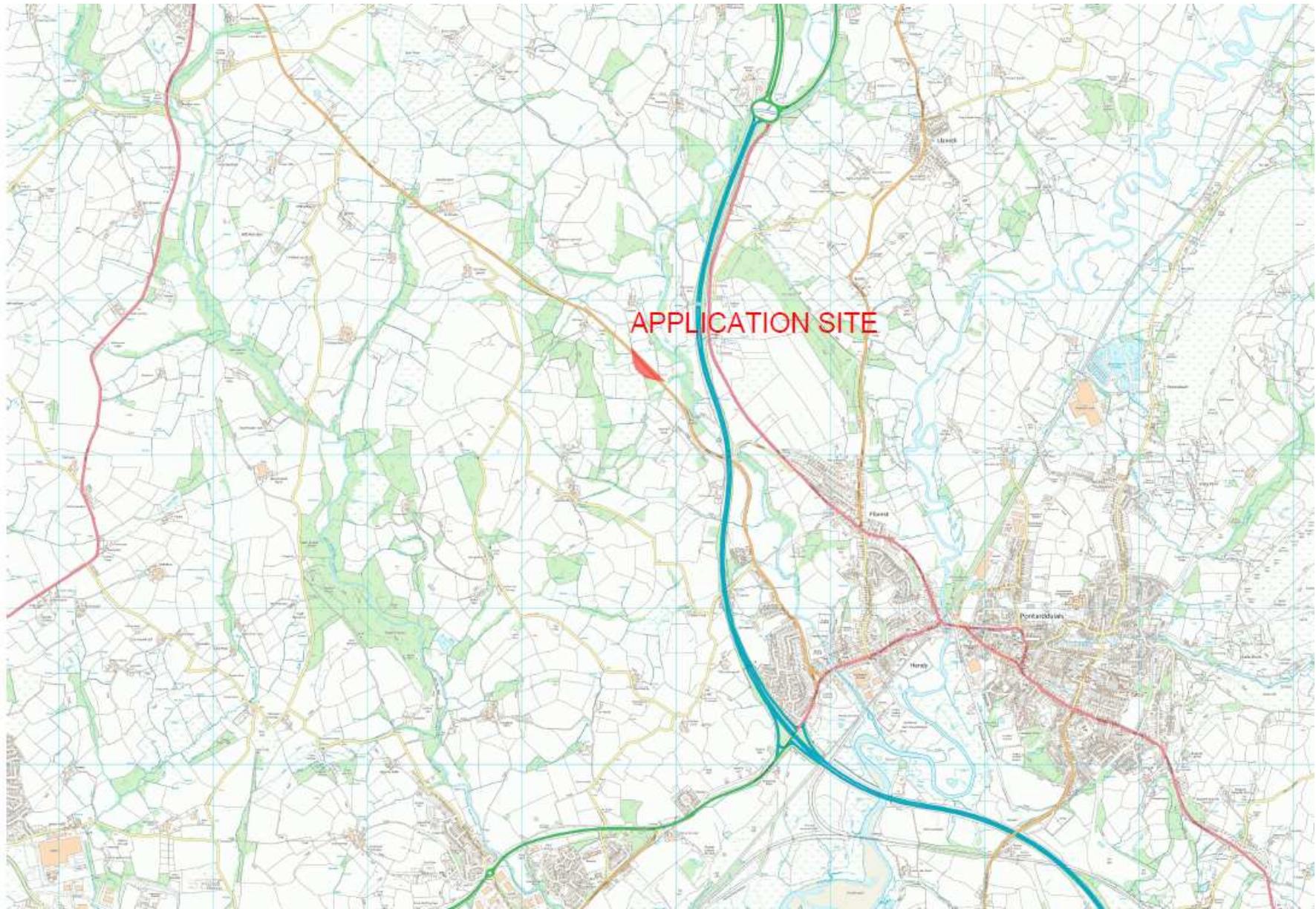
## **APPLICATIONS RECOMMENDED FOR APPROVAL**



**S/34755**



# S/34755

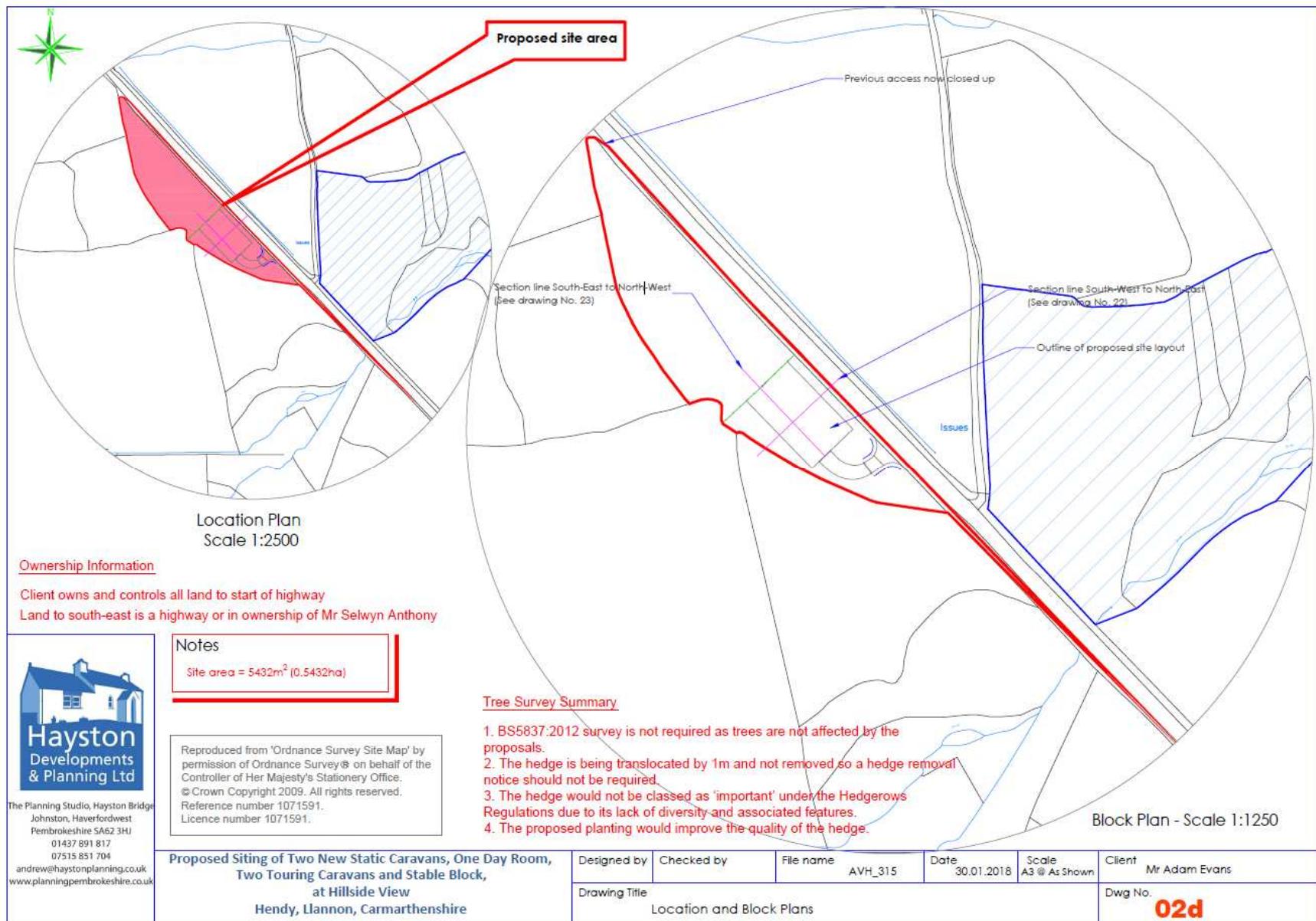


# S/34755

Tudalen 12



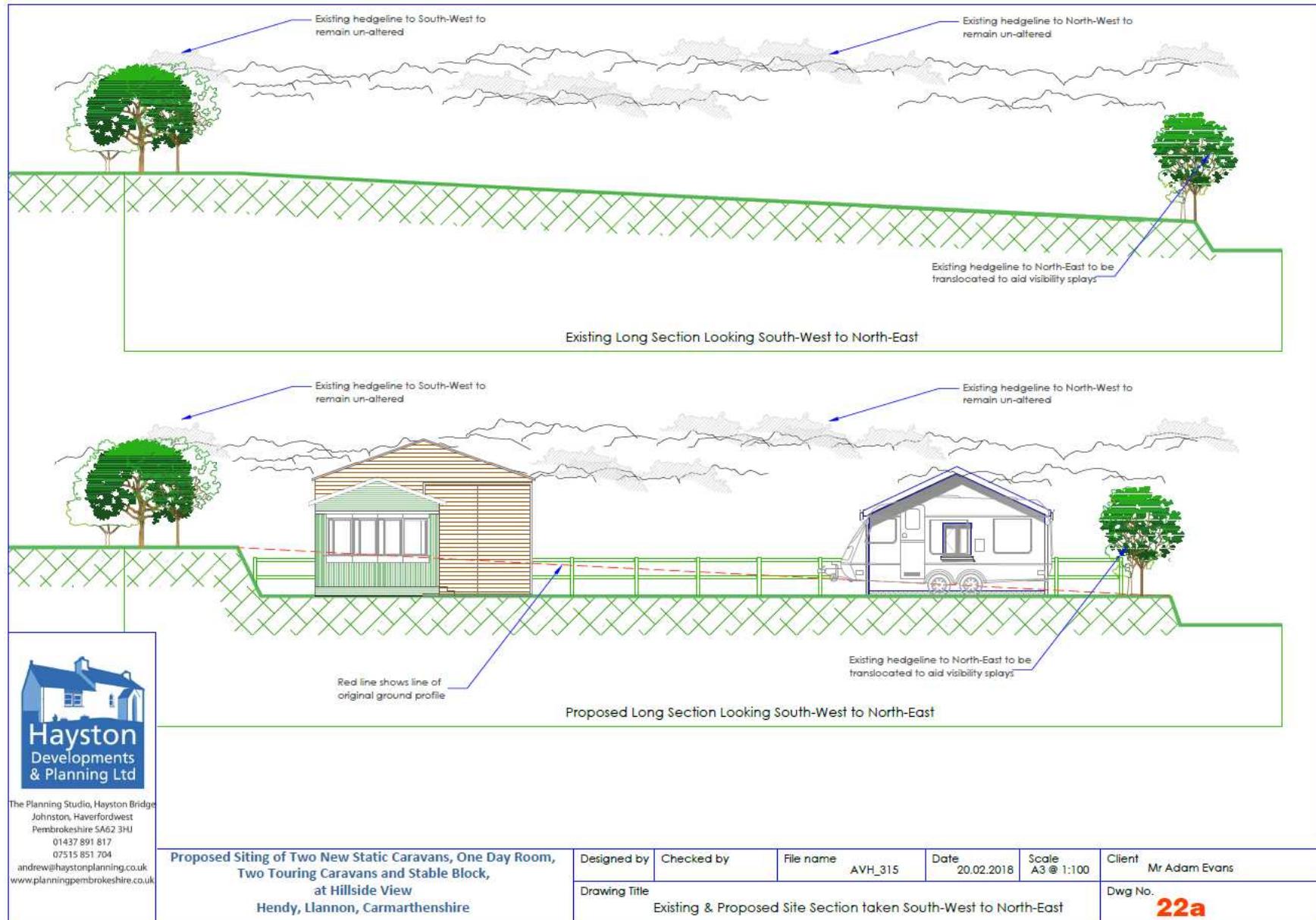
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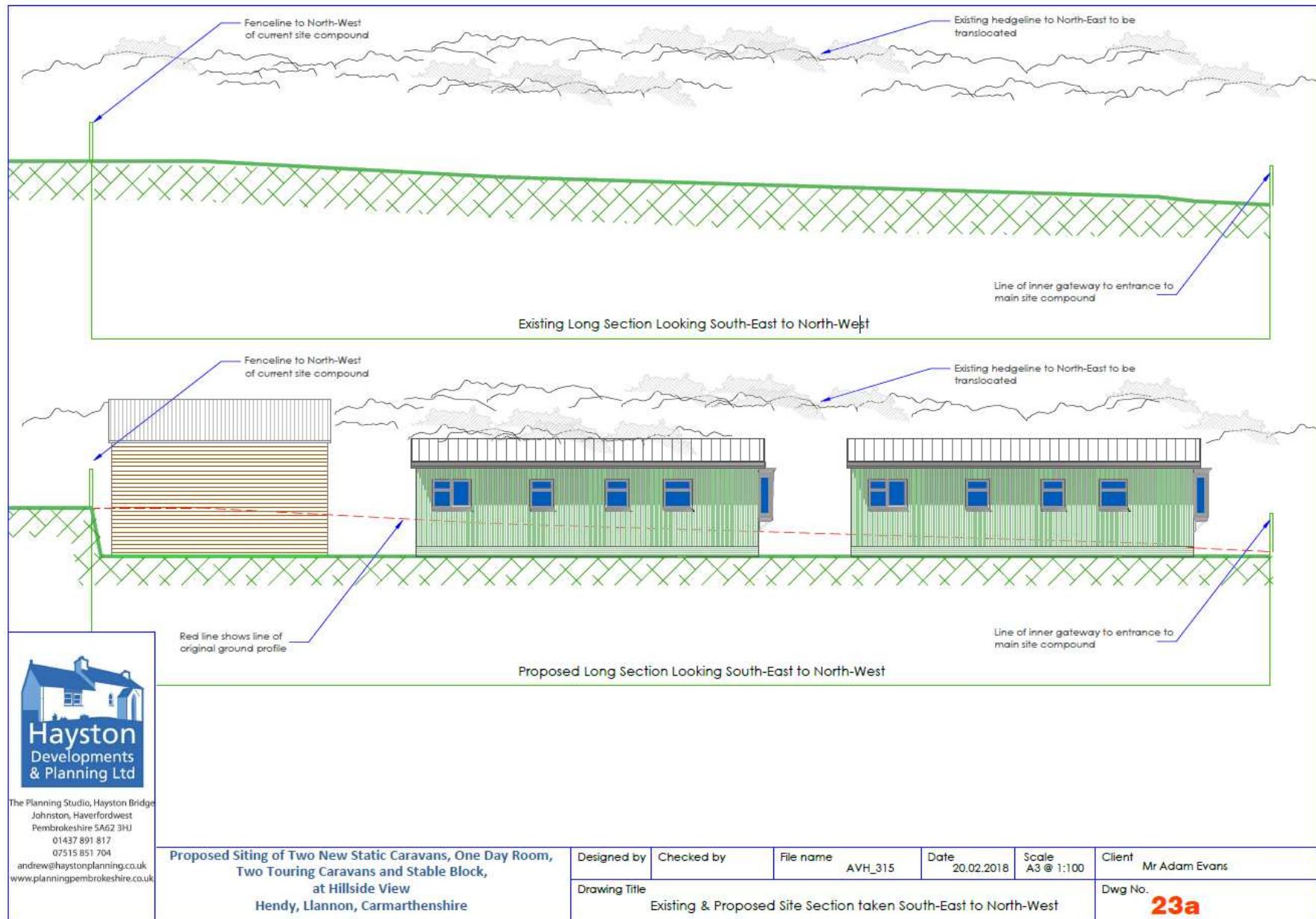
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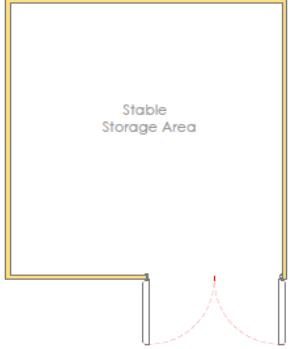
# S/34755



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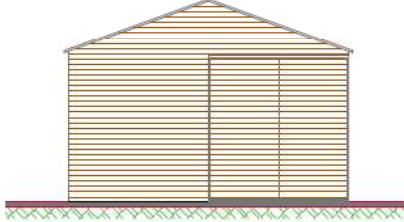


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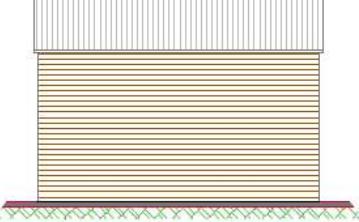


Floor Plan - Scale 1:100

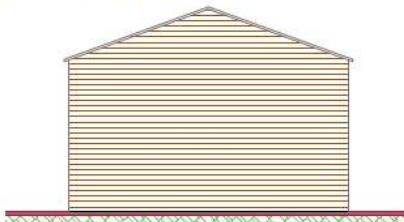
EXTERNAL FINISHES	
1. Roof Covering	Box profile steel sheeting - colour to be agreed
2. Walls	Pressure treated ex 19mm x 150mm rough sawn featheredge horizontal cladding
3. Doors	Timber - Treatment to be agreed
4. Rainwater Goods	Half Round uPVC - black in colour



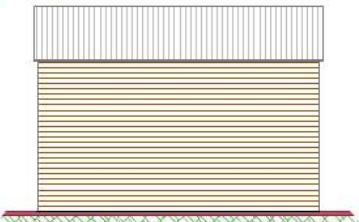
**South Elevation**



**East Elevation**



**North Elevation**



**West Elevation**

Elevations - Scale 1:100

Proposed Siting of Two New Static Caravans, One Day Room, Two Touring Caravans and Stable Block, at Hillside View Hendy, Llannon, Carmarthenshire

Designed by    Checked by    File name AVH\_315    Date 20.02.2018    Scale A3 @ 1:100    Client Mr Adam Evans

Floor Plan and Elevations of Stable Block

Dwg No. **06c**

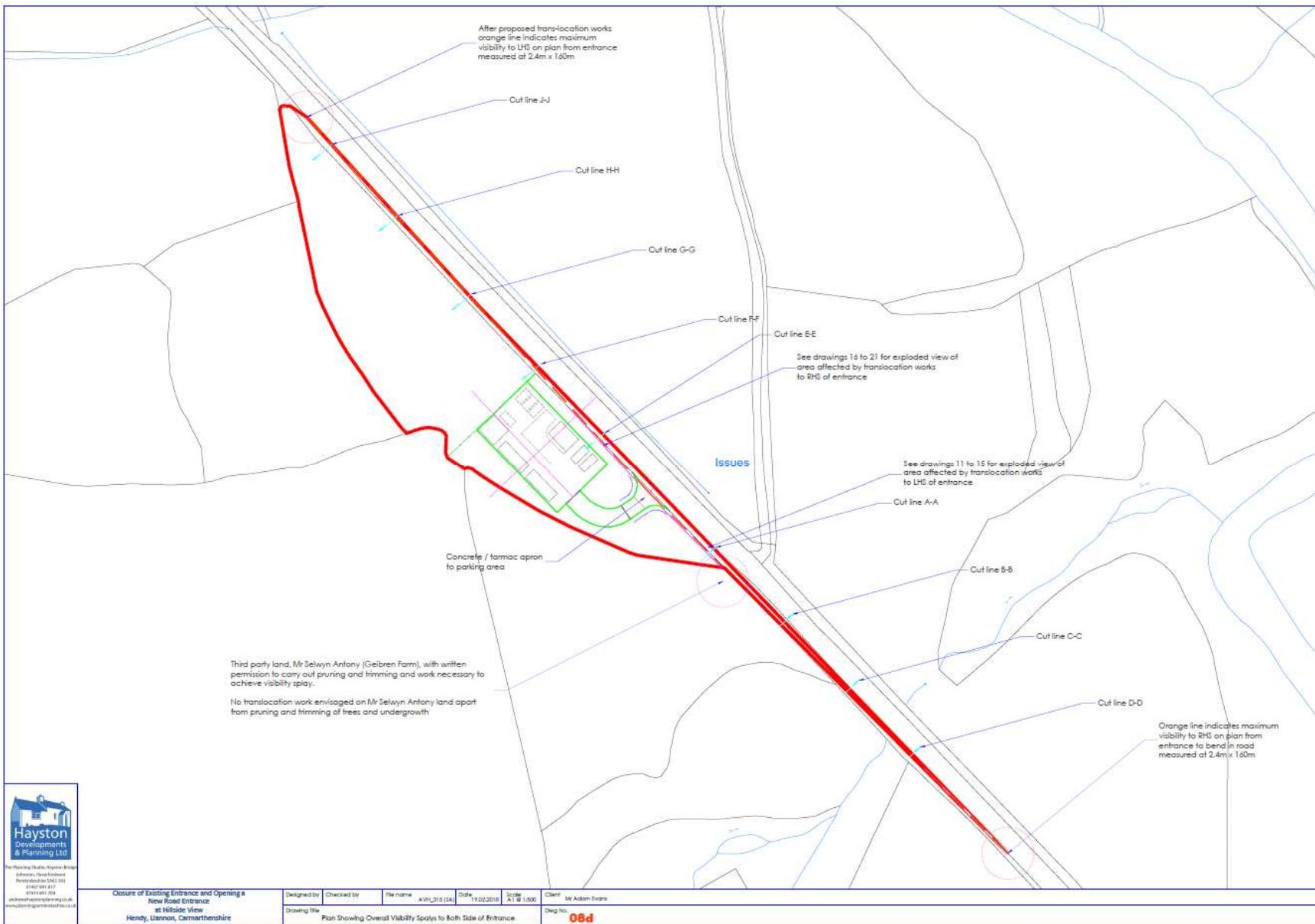
Tudalen 17



**Hayston**  
Developments  
& Planning Ltd

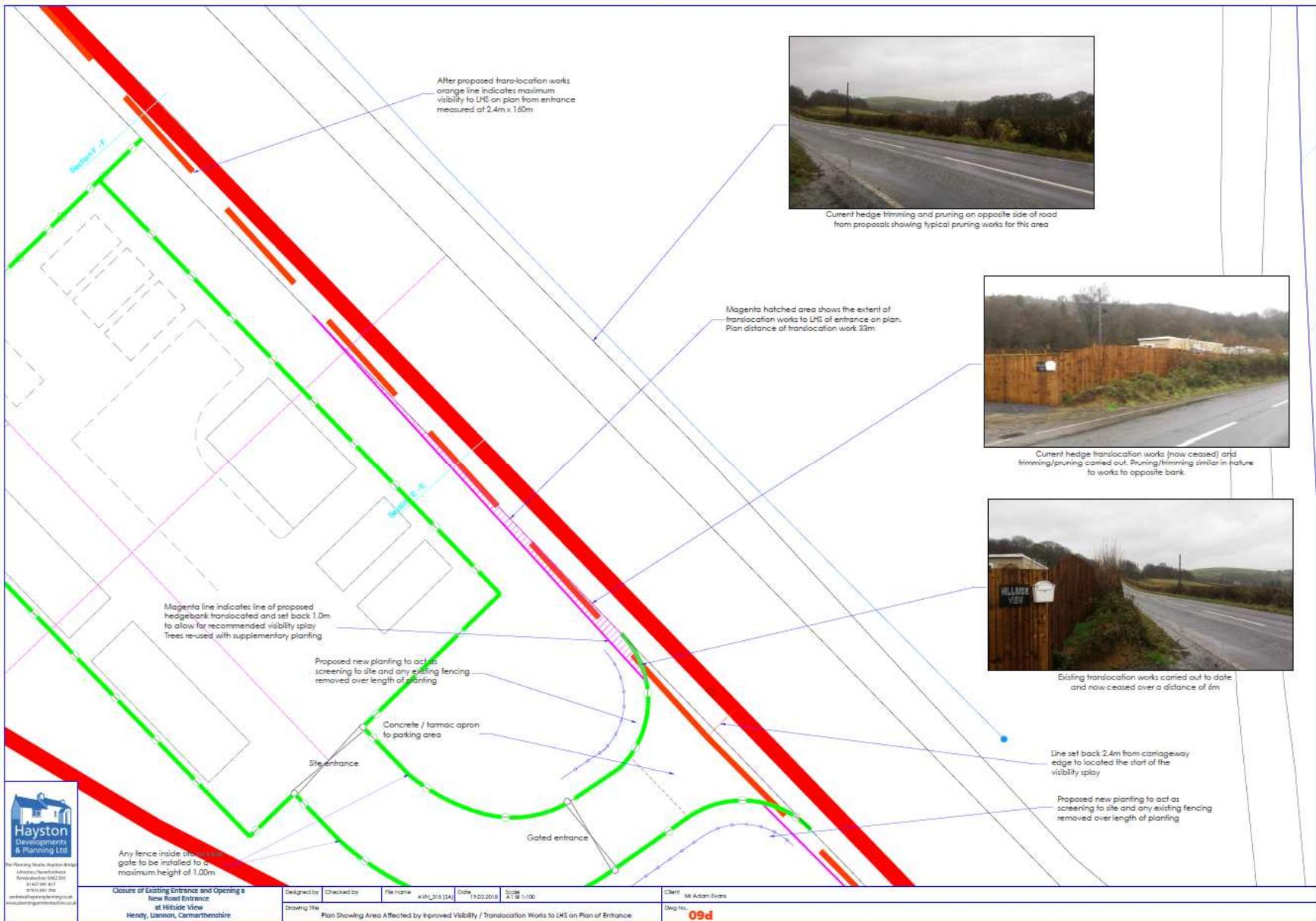
The Planning Studio, Hayston Bridge  
Johnston, Haverfordwest  
Pembrokeshire SA62 3HU  
01437 891 817  
07515 851 704  
andrew@haystonplanning.co.uk  
www.planningpembrokeshire.co.uk

# S/34755

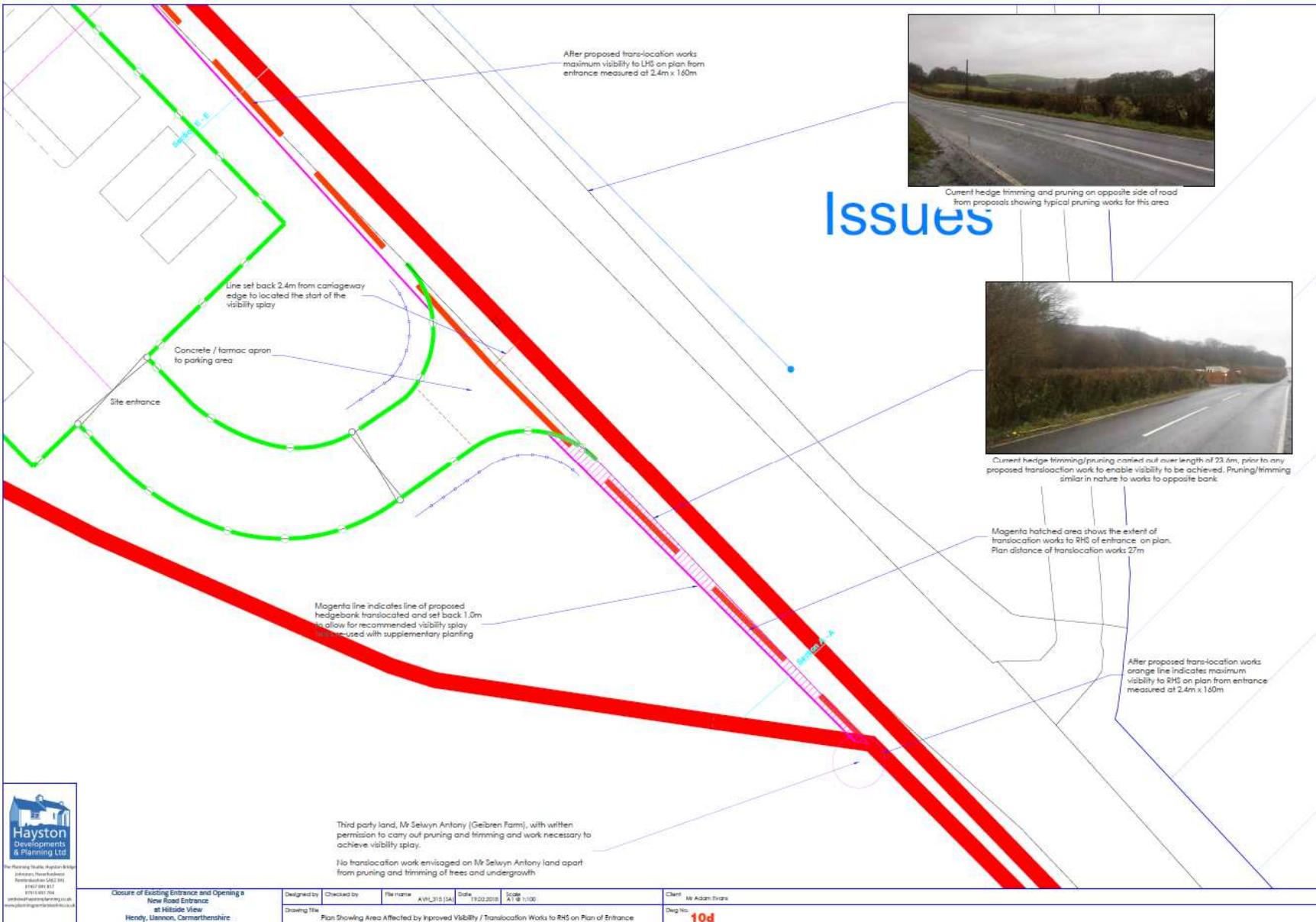


# S/34755

Tudalen 19



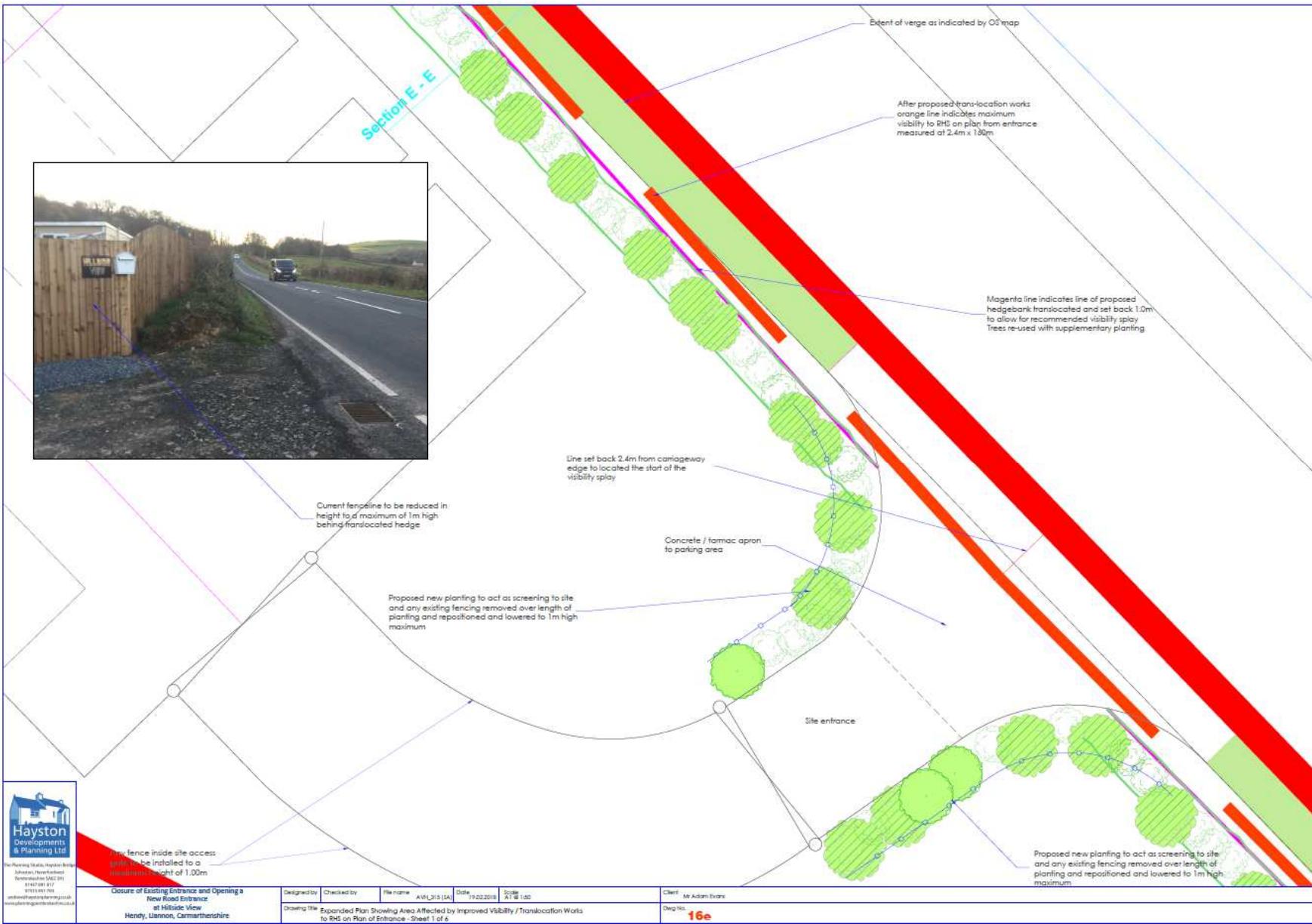
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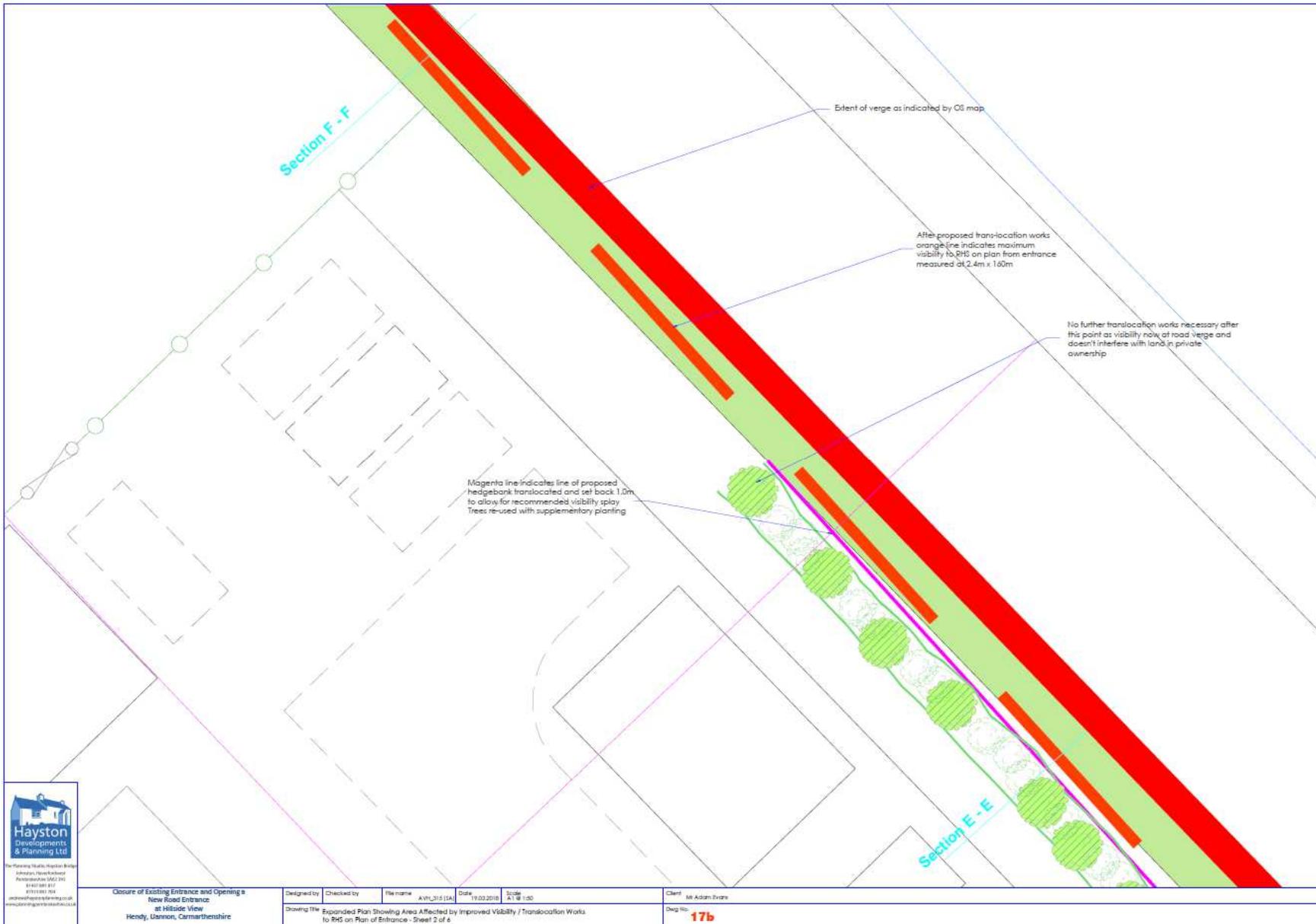
The Planning Studio, Hayton & Argoe  
Johnstones, Pen-y-Ardoe,  
Penybont, Bryn, SA22 0RJ  
01633 881 204  
07711 881 204  
[www.haystondevelopments.co.uk](http://www.haystondevelopments.co.uk)

Closure of Existing Entrance and Opening a New Road Entrance at Hafod View Hendy, Llanon, Ceredigion	Designed by Drawing Ref:	Checked by Drawing Ref:	File name: AVH_34755(A)	Date: 19.02.2018	Scale: A1 @ 1:100	Client: Mr Adam Evans
					Dwg No: <b>10d</b>	

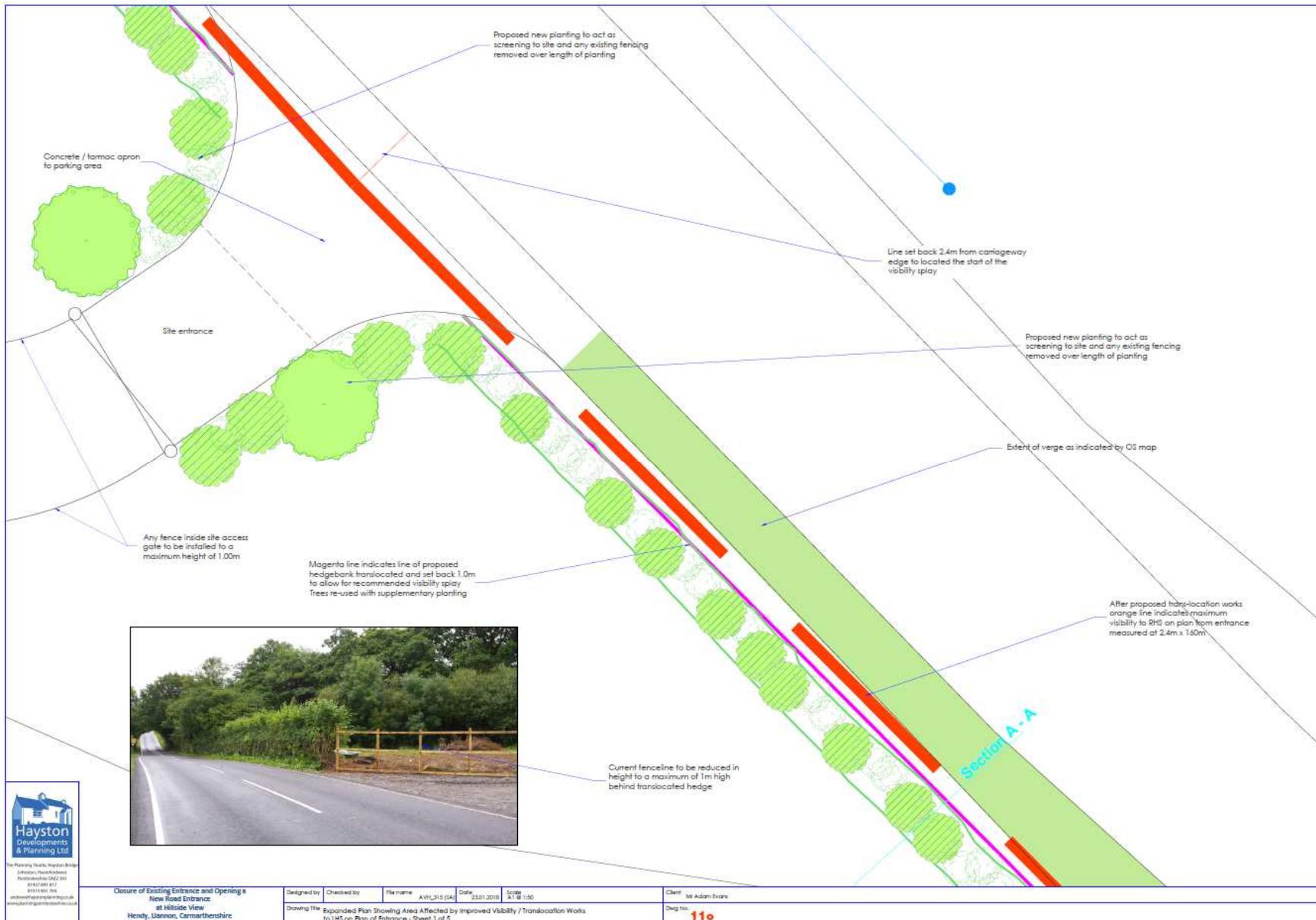
# S/34755



# S/34755



# S/34755



# S/34755



# S/34755

**NOTES:-**

- 1.) STANDARD INLET/OUTLET PIPES ARE PVCu UNDERGROUND DRAINAGE TO BS4660 WITH KLARGESTER SEALS.
- 2.) TANKS HAVE AN INLET INVERT DEPTH OF 1.0m. UPON REQUEST TANKS MAY HAVE AN INVERT DEPTH OF 1.5m OR GREATER. REFER TO KLARGESTER DO NOT EXTEND TANK NECK.
- 3.) THIS DRAWING SHOULD BE USED FOR DIMENSIONAL INFORMATION ONLY. REFER TO INSTALLATION GUIDELINES.
- 4.) THIS DRAWING IS ALSO AVAILABLE ON OUR WEBSITE [www.klargeter.com](http://www.klargeter.com)

CAPACITY	DIMENSIONS	WEIGHTS	KLARGESTER COVER & FRAME	
LITRES	'A' ø	'B'	Kg	
2800	1905	1565	125	CFL460E
3800	2070	1795	180	CFL460E
4600	2080	2035	210	CFL460E

**PIPework shown as hidden lines are not supplied by KLARGESTER.**

**OPTIONAL FRESH AIR INLET (CUSTOMER SUPPLY) TO CONFIRM WITH LOCAL BUILDING REGULATIONS IF REQUIRED POSITION TO SUIT SPECIFIC SITE CONDITIONS.**

**KLARGESTER MANHOLE COVER AND FRAME, CFL460A ILLUSTRATED**  
Ø110mm PVCu SWIVELLING INLET

**MANHOLE COVER & FRAME TO BE BEDDED ON WET & CONCRETE BENCHED OVER FLANGE AS SHOWN.**

**SEE NOTE 2 (INLET INVERT)**

**Ø460**

**INLET INVERT + 25mm (OUTLET INVERT)**

**DRY SITE (SEE NOTE 3)**

**WET SITE (SEE NOTE 3)**

**PEA SHINGLE**  
Ø110mm PVCu SWIVELLING OUTLET (SEPTIC TANK ONLY)  
ENSURE SEPTIC TANK OUTLET IS 25mm BELOW INLET

**BACK FILL TO SUIT WET SOIL CONDITIONS (CONCRETE)  
CESSPOOLS MUST BE BACK-FILLED WITH CONCRETE IN ALL SITE CONDITIONS**

**CESSPOOL - PIPEWORK DETAIL**

**SEE MAIN NOTES ON DRAWING**

**ALL DIMENSIONS ARE IN MILLIMETRES - DO NOT SCALE**

Proposed Siting of Two New Static Caravans, One Day Room, Two Touring Caravans and Stable Block, at Hillside View Hendy, Llanon, Carmarthenshire	Designed by	Checked by	File name	AVH_315	Date	11.08.2016	Scale	A3 @ 1:20	Client	Mr Adam Evans
									Dwg No.	<b>07</b>





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Tudalen 30



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Tudalen 32



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Tudalen 34



**S/34755**

# S/34755



Tudalen 36



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**S/34755**



Tudalen 38



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Tudalen 40



**S/34755**

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Tudalen 42



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Tudalen 44



**S/34755**

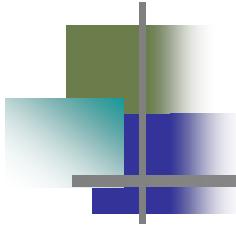


Mae'r dudalen hon yn wag yn fwriadol



# **CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO**

## **APPLICATIONS RECOMMENDED FOR APPROVAL**



**S/36679**



# S/36679



# S/36679



# S/36679



# S/36679



This drawing is available in  
DWG. All dimensions in feet  
and inches unless otherwise stated.



Surveyor's Details		Drawing Details	
Surveyor Name: [Redacted]	Date: [Redacted]	Drawing No.: S/36679	Scale: 1:1000
Address: [Redacted]	Plot No.: [Redacted]	Area: [Redacted]	Sheet No.: [Redacted]

# S/36679

Tudalen 53



# S/36679



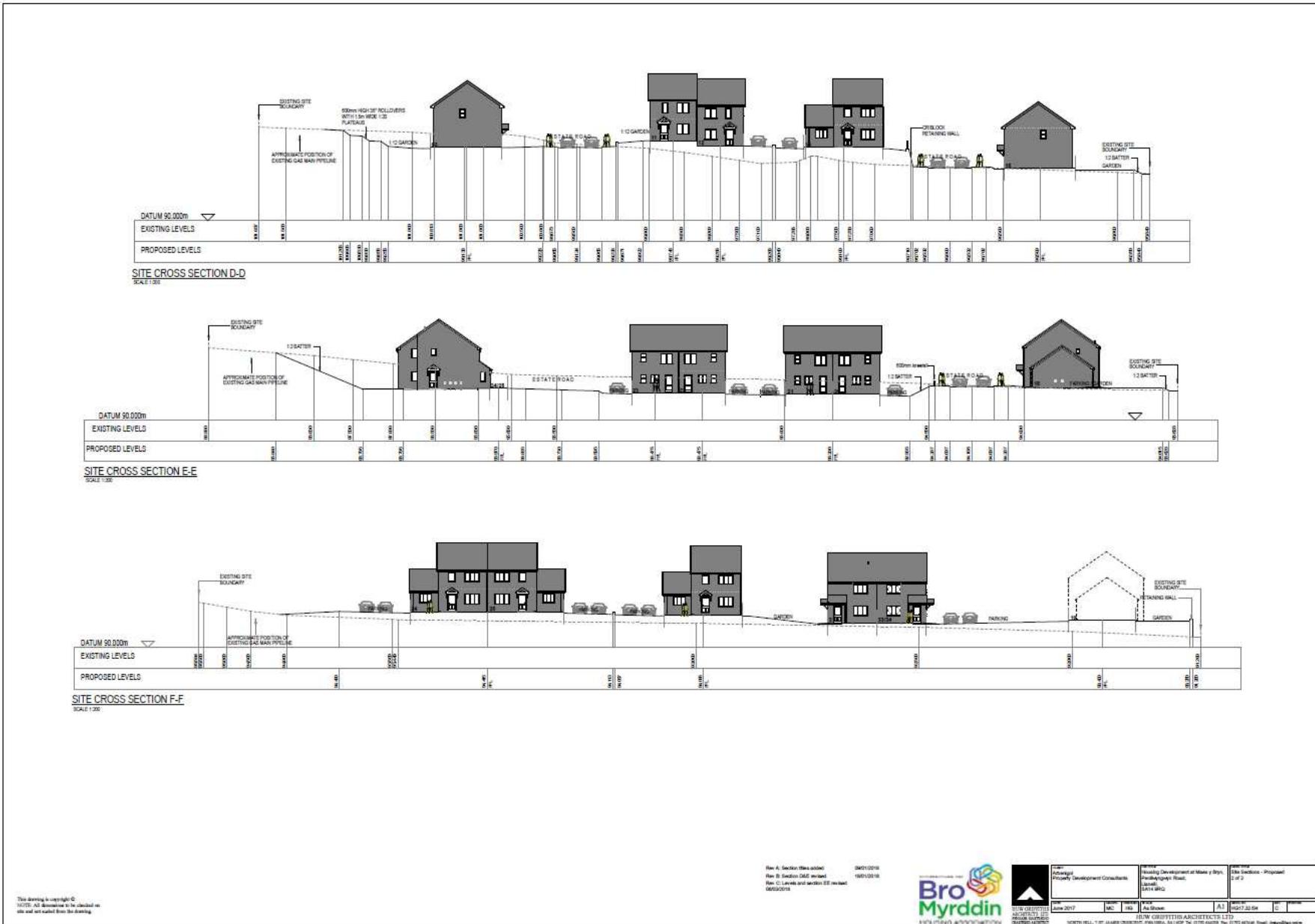
**S/36679**

Tudalen 55



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HOYT. All dimensions to be checked on  
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**S/36679**



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NOTE: All dimensions to be checked on  
site and not scaled from the drawing.

Rev A: Section titles added 08/01/02  
Rev B: Section 04.05 revised 10/01/02  
Rev C: Levels and section 04 revised 05/03/2013



	Haber Architectural Property Development Consultants	Address Building Development at Maizey Bryn, Llanymbyllif Road, Llanelli, SA14 5HZ	Site Section - Proposed 2 of 2					
10/04/2018 09:00:11:116	Area 2017	MC2	IR2	Price As Shown	A3	H017-22-004	12	Printed

# S/36679



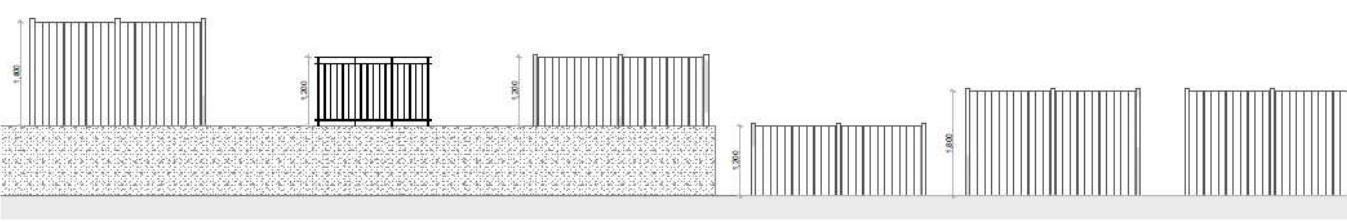
Perspectives  
NTS



Crib Lock Retaining Wall - Typical View for illustration purposes only



Reinforced earth Retaining Wall - Typical View for illustration purposes only



Boundary Type 1:-  
Concrete retaining wall, close boarded fence 1.8m high

Boundary Type 1.2:-  
Concrete retaining wall, galvanised steel metal railings 1.2m high

Boundary Type 1.1:-  
Concrete retaining wall, close boarded fence 1.2m high

Boundary Type 2:-  
Close boarded fence on both sides 1.2m high

Boundary Type 3:-  
Close boarded fence on both sides 1.8m high

Boundary Type 4:-  
Close boarded fence on single side 1.8m high

Plans & Elevations  
1:50



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NOTE. All dimensions to be checked on site and not scaled from the drawing.

Rev A: Fence spec revised  
19/2/2018





Ref:	Arbenigol Property Development Consultants	Name:	Housing Development at Maes y Bryn, Penallynwyd Road, Llandell SA14 9RQ	Ref:	Boundary Details
Date:	June 2017	Design:	As Shown	Drawn by:	A3
		Review:	MC HG	Drawn on:	HO1732 /07
		Issue:		Approved by:	A

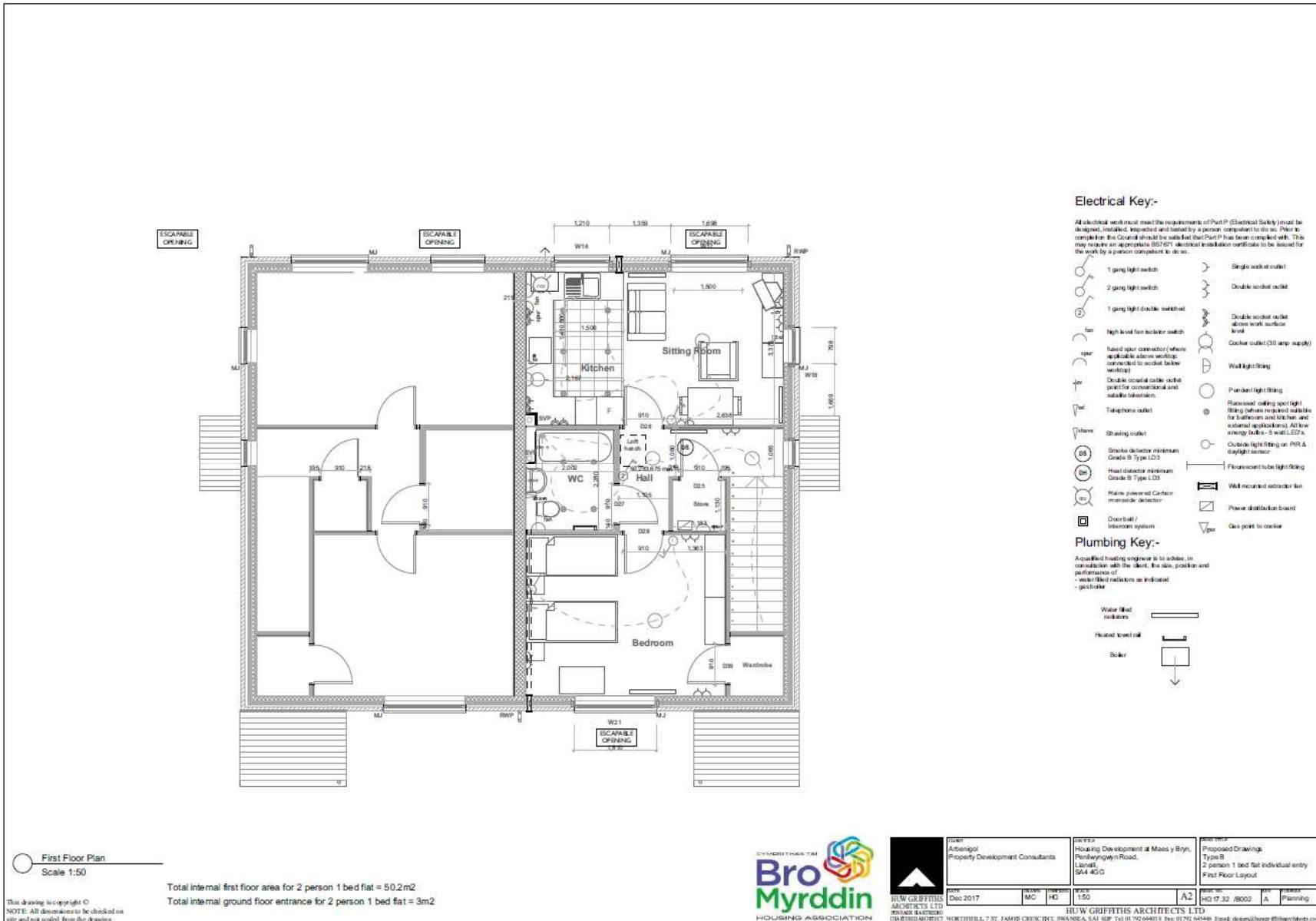
HUW GRIFFITHS ARCHITECTS LTD  
PROFESSIONAL SERVICES CHARTERED ARCHITECTS  
NORTH HILL, 7 ST. JAMES CRESCENT, SWANSEA, SA1 6EP Tel: 01792 644038 Fax: 01792 645496 Email: design@hga.wales

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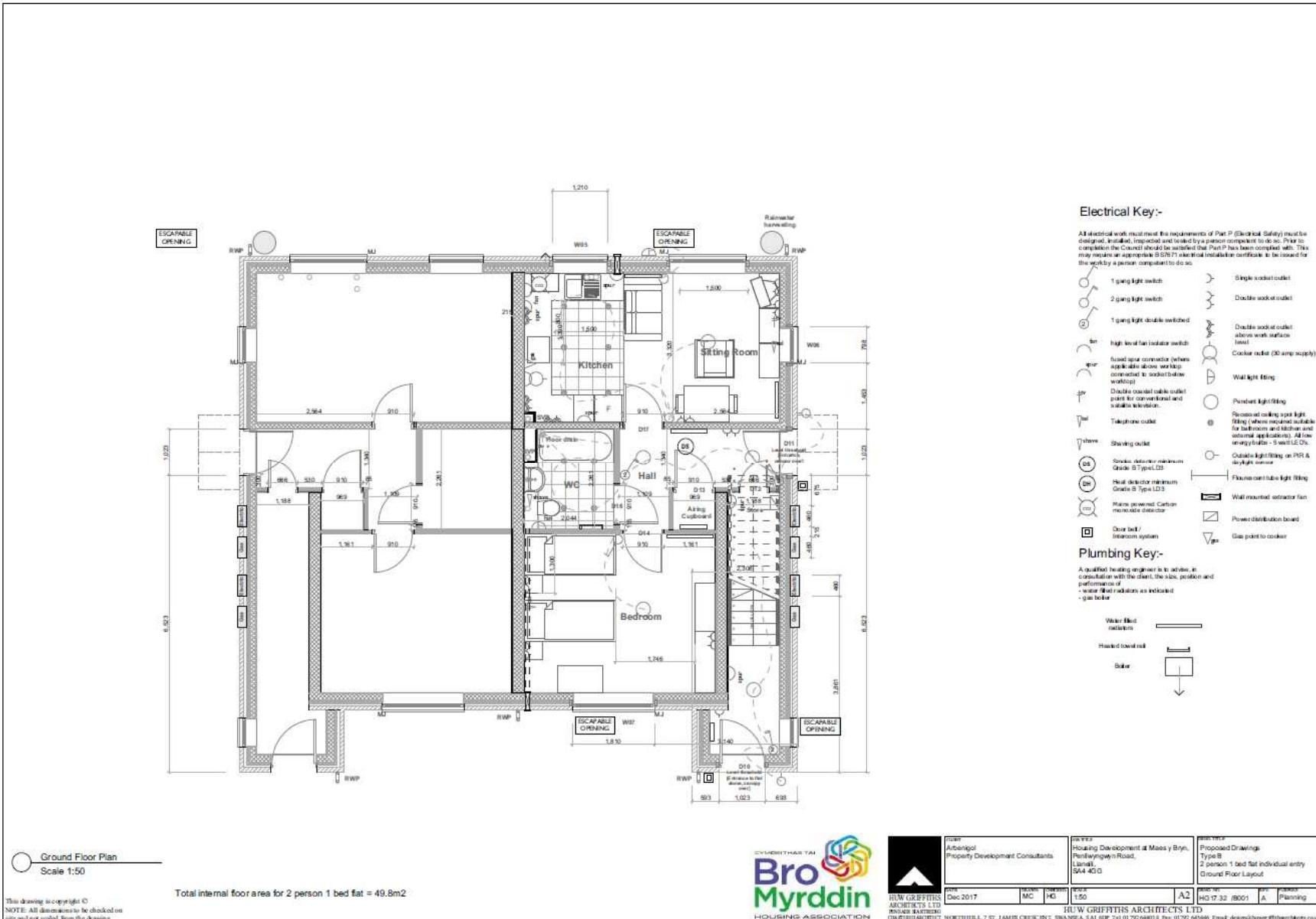


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Tudalen 59



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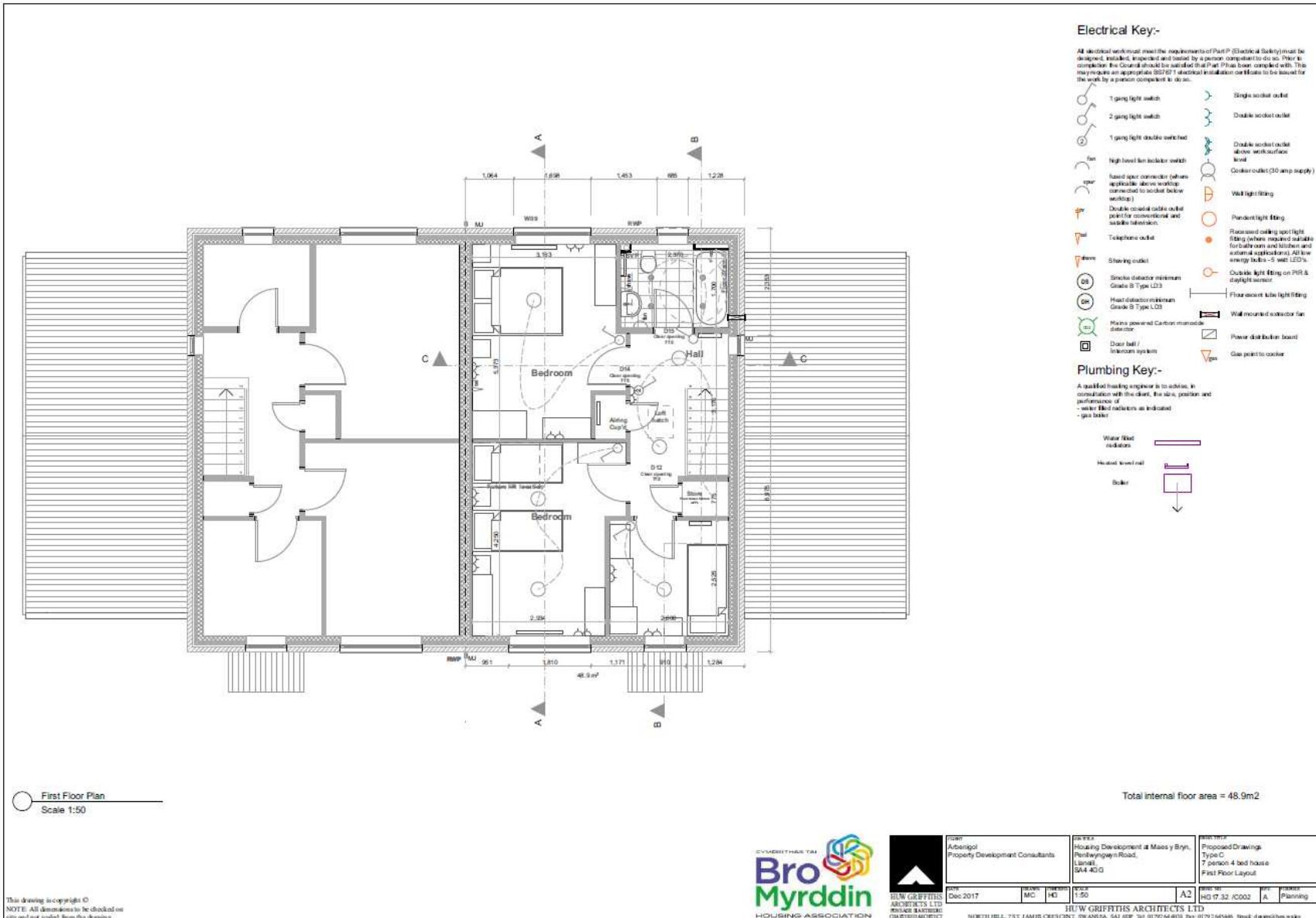


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Tudalen 61



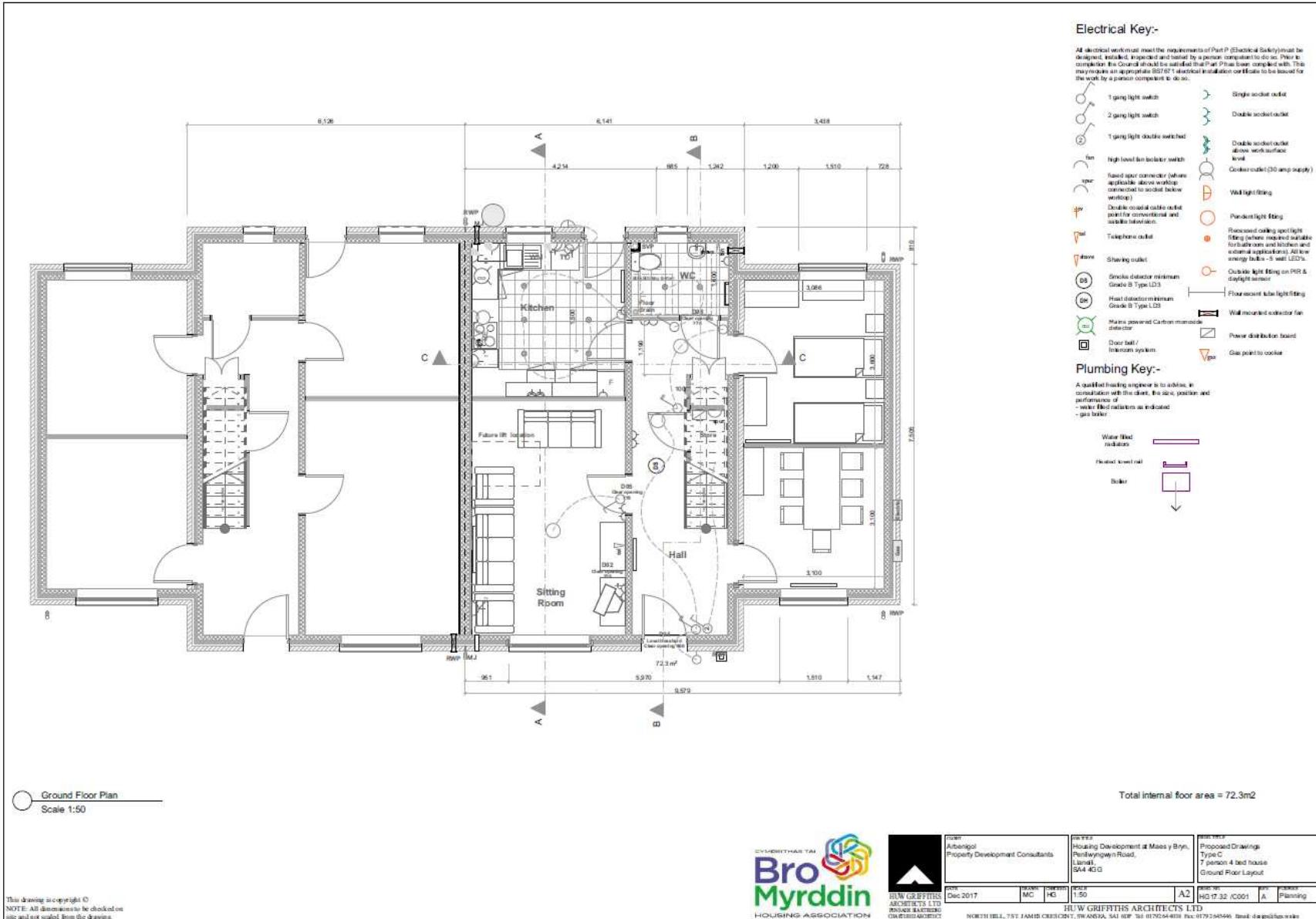
**S/36679**



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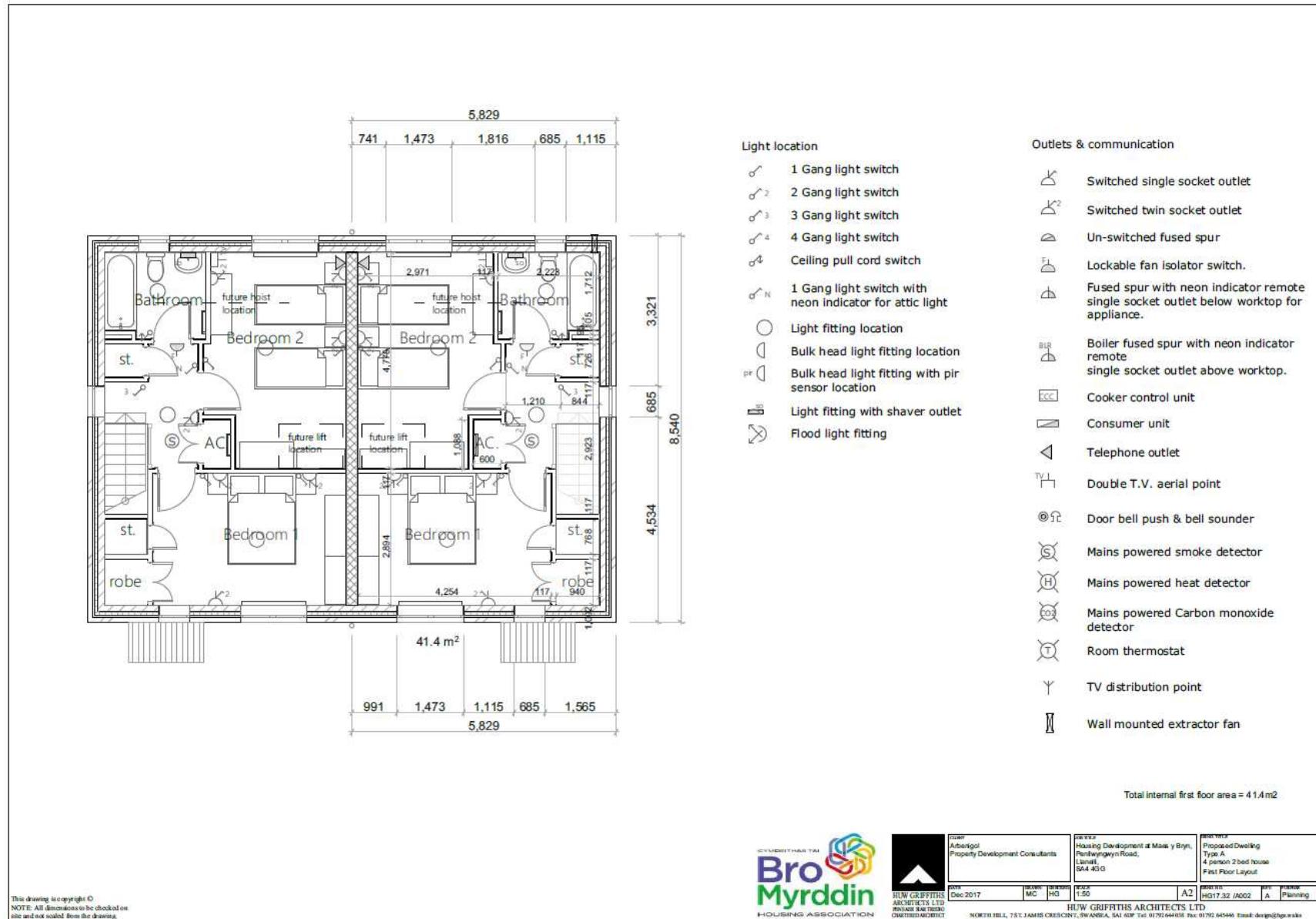
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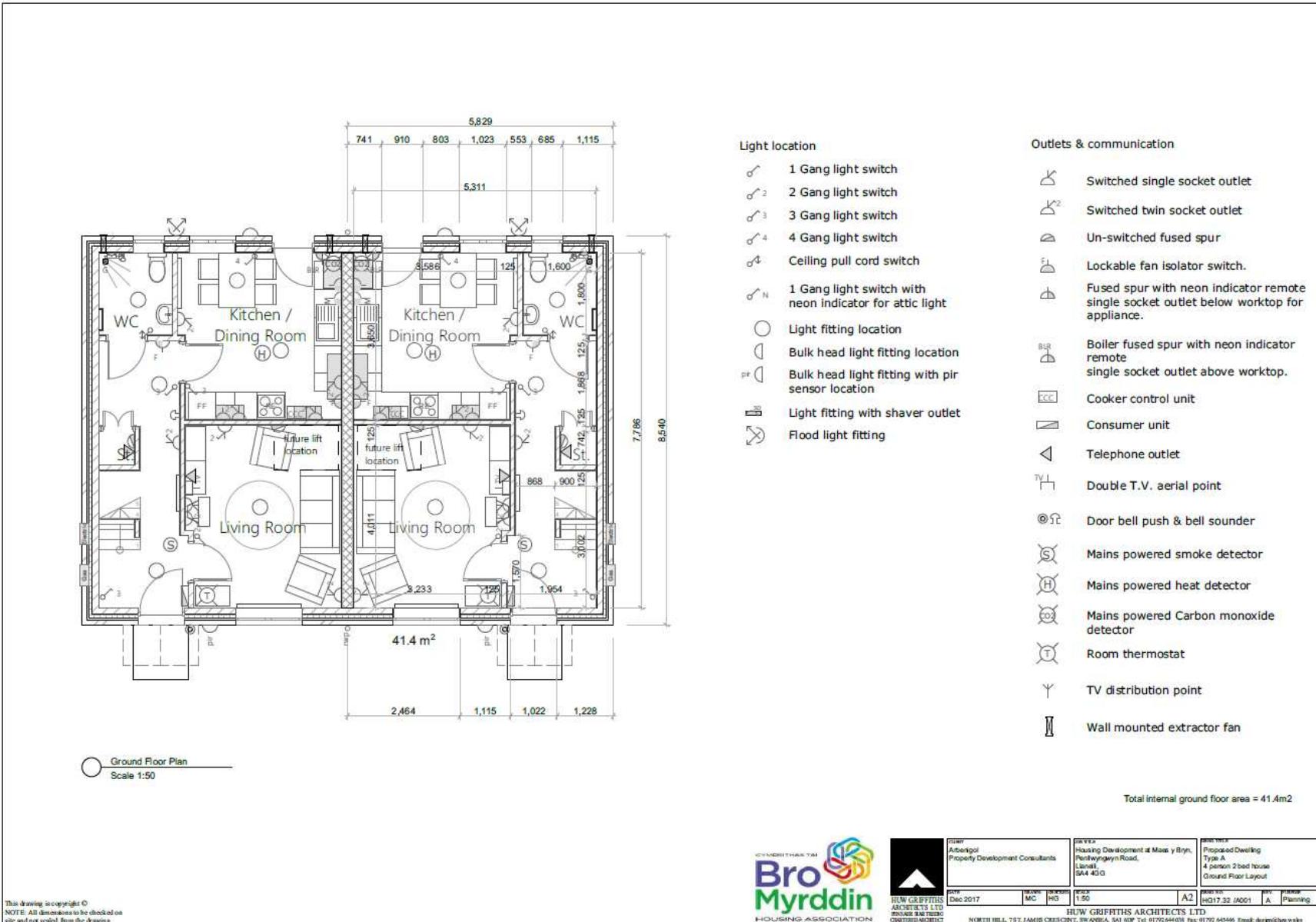
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**S/36679**



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Tudalen 70



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Tudalen 72



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Tudalen 74

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Tudalen 76



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**S/36679**

Tudalen 78



**S/36679**



Tudalen 80



**S/36679**



Tudalen 82



S/36679



Tudalen 84

